

Borough Council of
**King's Lynn &
West Norfolk**



St. George's Guildhall Project

Mark Fuller – Principal Project Surveyor

St George's Guildhall

Borough Council of
King's Lynn &
West Norfolk



- Dates from 1400
- Grade I Listed SAM
- 99 Year Lease from National Trust (35 years remaining)

St George's Guildhall Project

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- 12 Months ago commenced a review of the complex
- Number of spaces poorly used and a lack of activity on the site
- Theatre isn't used 97% of days (before 6pm) and 88% of evenings
- Site needs to be sustainable

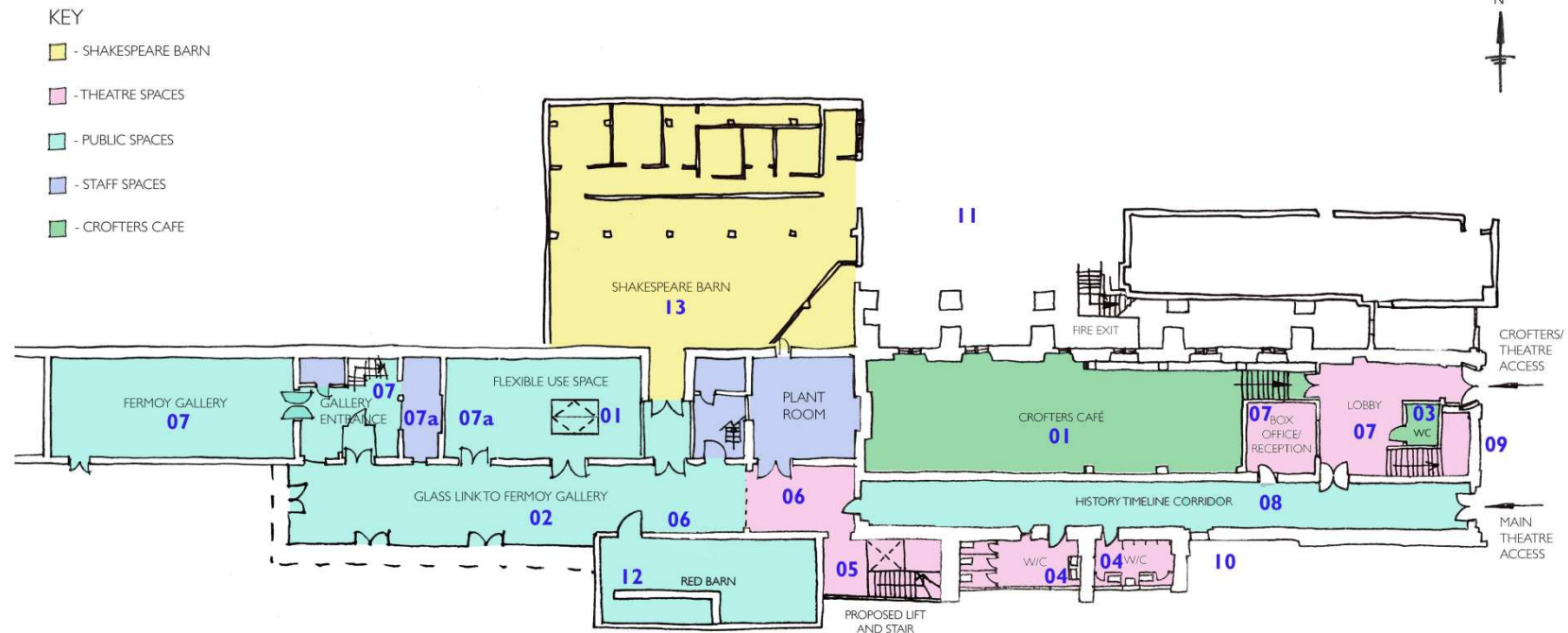
St George's Guildhall Project

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- The King's Lynn Arts Centre Trust closed in January and handed keys back in March 2016
- Following demise of KLACTION we have continued to develop proposals
- Building Conservation Trust made an approach for space
- Submitted a Project Enquiry to the Heritage Lottery Fund (HLF) in April 2016
- Received positive feedback

Proposed Ground Floor Plan



PROPOSED WORKS

- 01.** Existing stair removed and lockable floor hatch added, adapt and retain existing stair; allow for new floor slab, stone tiled floor and mech vent to tunnel
- 02.** New glass extension with zinc roof cladding, timber structure, stone tiled floor
- 03.** Existing services relocated and new accessible WC installed
- 04.** Full refurbishment and new WCs installed
- 05.** New lift and stair extension added, with glass facade and zinc roof, timber structure
- 06.** Existing levels altered, allow for new slab and stone tiled floor finish
- 07.** Light touch refurbishment, redecoration only
- 07a.** Refurbish existing rooms, overhaul joinery, decorate, new floor finishes
- 08.** Full refurbishment, plaster repairs, overhaul joinery; stone floor tiles, decorate
- 09.** Existing notice board removed and new decorative timber door added, with artwork installed
- 10.** Existing fire escape stair removed
- 11.** Clear and clean courtyard
- 12.** Convert exhibition space to new bar, renew floor slab, stone floor tiles and services. Allow for fixtures and fittings
- 13.** Allow for overhauling external and internal fabric, services, sanitaryware etc, allow for decoration

SKETCH DRAWING 900



PROPOSED GROUND FLOOR PLAN

1:200 at A3

237497 ST GEORGE'S GUILDHALL

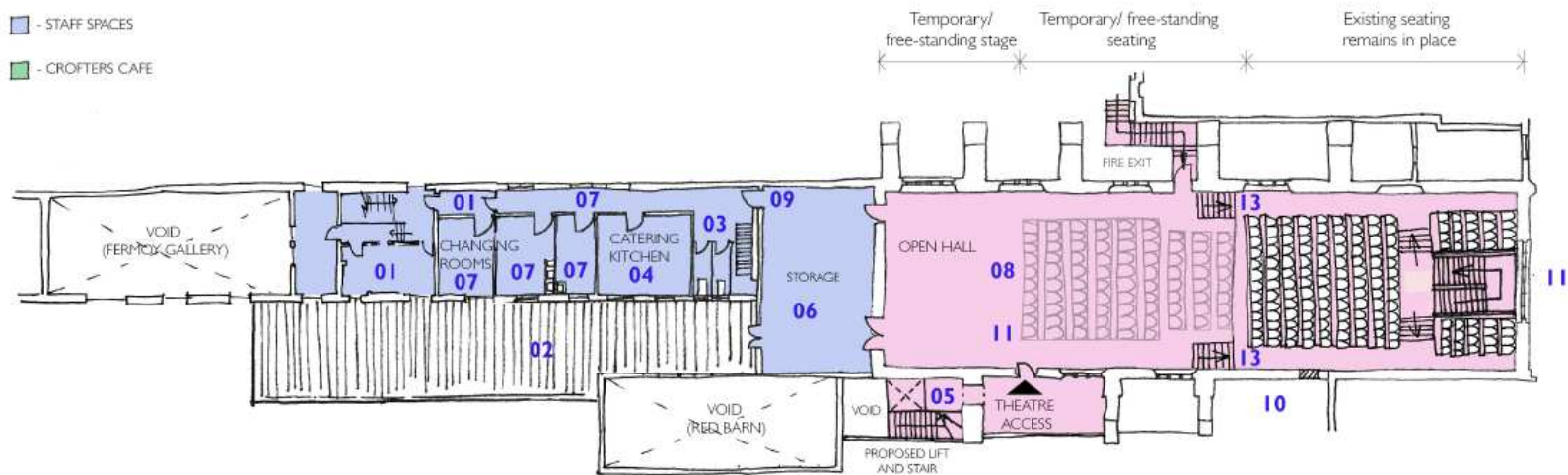
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Proposed First Floor Plan



KEY

- SHAKESPEARE BARN
- THEATRE SPACES
- PUBLIC SPACES
- STAFF SPACES
- CROFTERS CAFE

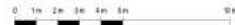


PROPOSED WORKS

- 01.** New corridor partition added to connect to Fermoy gallery
- 02.** New glass extension with zinc roof cladding, timber structure
- 03.** Existing WC cubicles extended wash-hand basins added
- 04.** Existing door and partitions re-arranged, new kitchen installed
- 05.** New lift and stair extension added, with glass facade and zinc roof, timber structure
- 06.** Existing floor level lowered, and partitions removed, new floor construction installed
- 07.** Light touch refurbishment, redecoration only, new floor finishes
- 08.** Full refurbishment, plaster repairs, overhaul doors and windows, full redecoration
- 09.** Existing stair removed
- 10.** Existing fire escape stair removed
- 11.** Existing staircase and seating to front of hall to remain, allow for new floor construction with oak boards and service void beneath
- 12.** One area of existing seating removed and floor re-levelled
- 13.** New balcony wall and timber stair construction

NOTE: New seating must be installed to meet current regulations and is therefore larger than the existing 1950's seating

SKETCH DRAWING 901



PROPOSED FIRST FLOOR PLAN

1:200 at A3

237497 ST GEORGE'S GUILDHALL

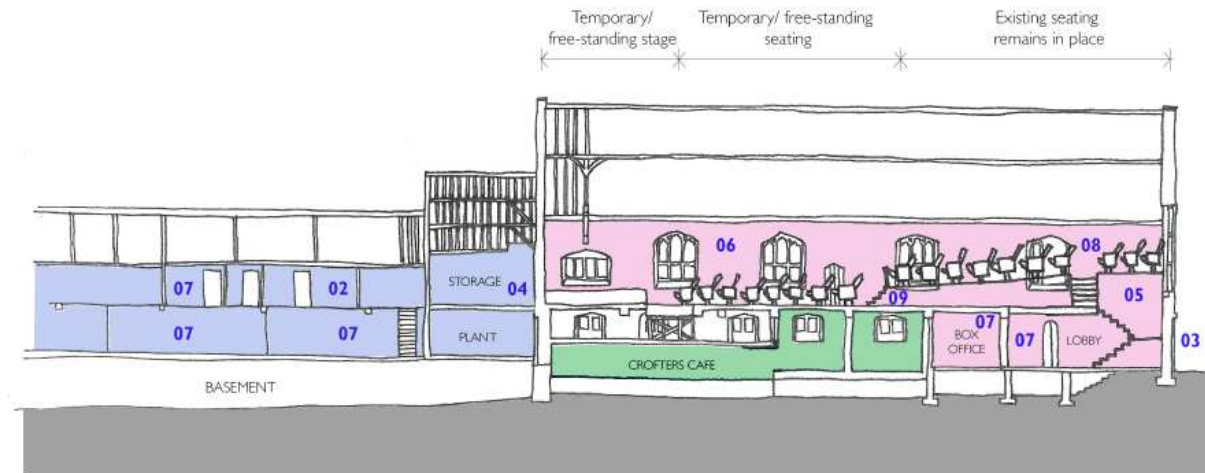
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Proposed Section



KEY

- BUILDING CONSERVATION TRUST
- THEATRE SPACES
- PUBLIC SPACES
- STAFF SPACES
- CROFTERS CAFE



PROPOSED WORKS

- 01.** Existing kitchen and WCs removed, new corridor partition added
- 02.** Existing door and partitions re-arranged, new kitchen installed
- 03.** Existing notice board removed and new decorative timber door added
- 04.** New floor added at lower level and partitions removed
- 05.** Existing staircase and seating to front of hall to remain
- 06.** Area of existing seating removed and floor re-levelled

- 07.** Light touch refurbishment, redecoration only
- 08.** Full refurbishment, plaster repairs, overhaul doors and windows, full redecoration
- 09.** New timber staircase

St Georges Guildhall - Proposals



- Improvements to highway frontage – identity
- Guildhall part flat floor – capacity approx. 300 – flexibility
- Lift and stair access to Guildhall
- Staging and associated equipment
- Glass structure linking spaces – connectivity incl. Red Barn
- Shakespeare Barn & courtyard – leased to BCT
- Fermoy Gallery retained – possible links with Arts East / Sainsbury Centre
- Interpretation of site
- Existing commercial operations retained Riverside & Crofters
- White Barn outside of project

St George's Guildhall – Next steps



- Assembled experienced Project Team to develop proposals to work up a Stage I Bid to the HLF
- Stage I Bid to be submitted on the 28th November 2016 (tbc)
- Delivery - commencement late 2018 – early 2019 subject to necessary funding & approvals
- Looking at a potential redevelopment of the White Barn outside of the scope of this project
- Welcome your support to the project and any feedback on the proposals.....